



CATTARAUGUS COUNTY DEPARTMENT OF PUBLIC WORKS

THE PINES HEALTHCARE & REHABILITATION CENTER, 2019 BUILDING ENVELOPE IMPROVEMENT

9822 ROUTE 16
MACHIAS, NY 14101

DPW BID No. 25

CONSTRUCTION DOCUMENTS

JANUARY 24, 2019



Centerpointe Corporate Park
375 Essjay Road, Suite 200
Williamsville, NY 14221
www.wendelcompanies.com
p:716.688.0766 f:716.625.6825

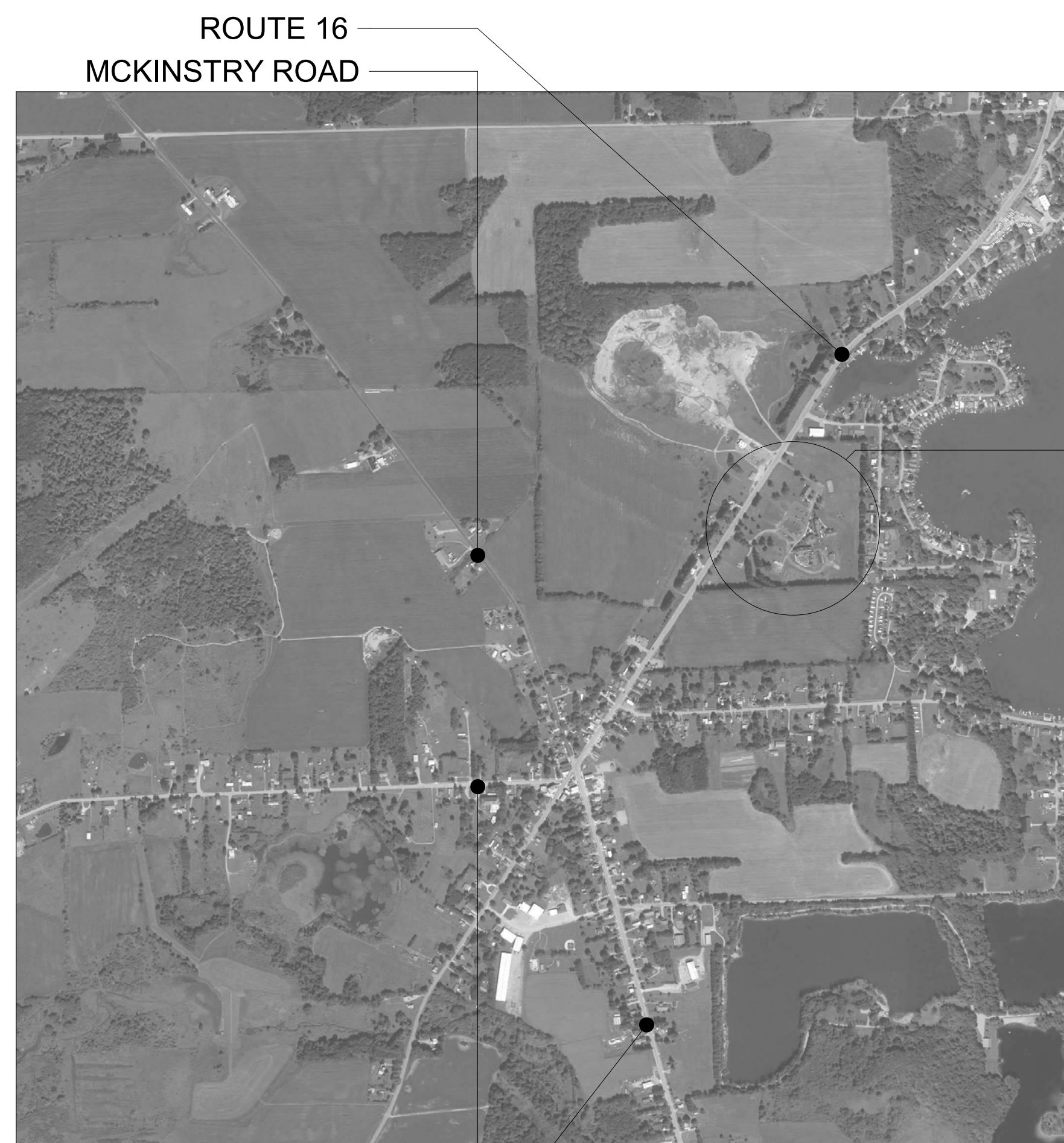
Wendel Project No. 123456

DRAWING INDEX

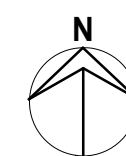
COVERSHEET

ARCHITECTURAL

A001	ABBREVIATIONS, SYMBOLS, BUILDING CODE INFORMATION AND SITE PLAN
A100	GROUND FLOOR PLAN AND MAINTENANCE GARAGE PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	PHOTOGRAPHS OF BUILDING
A301	PARTIAL BUILDING ELEVATIONS
A900	DOOR AND GABLE DETAILS



SITE



ROUTE 16
MCKINSTRY ROAD

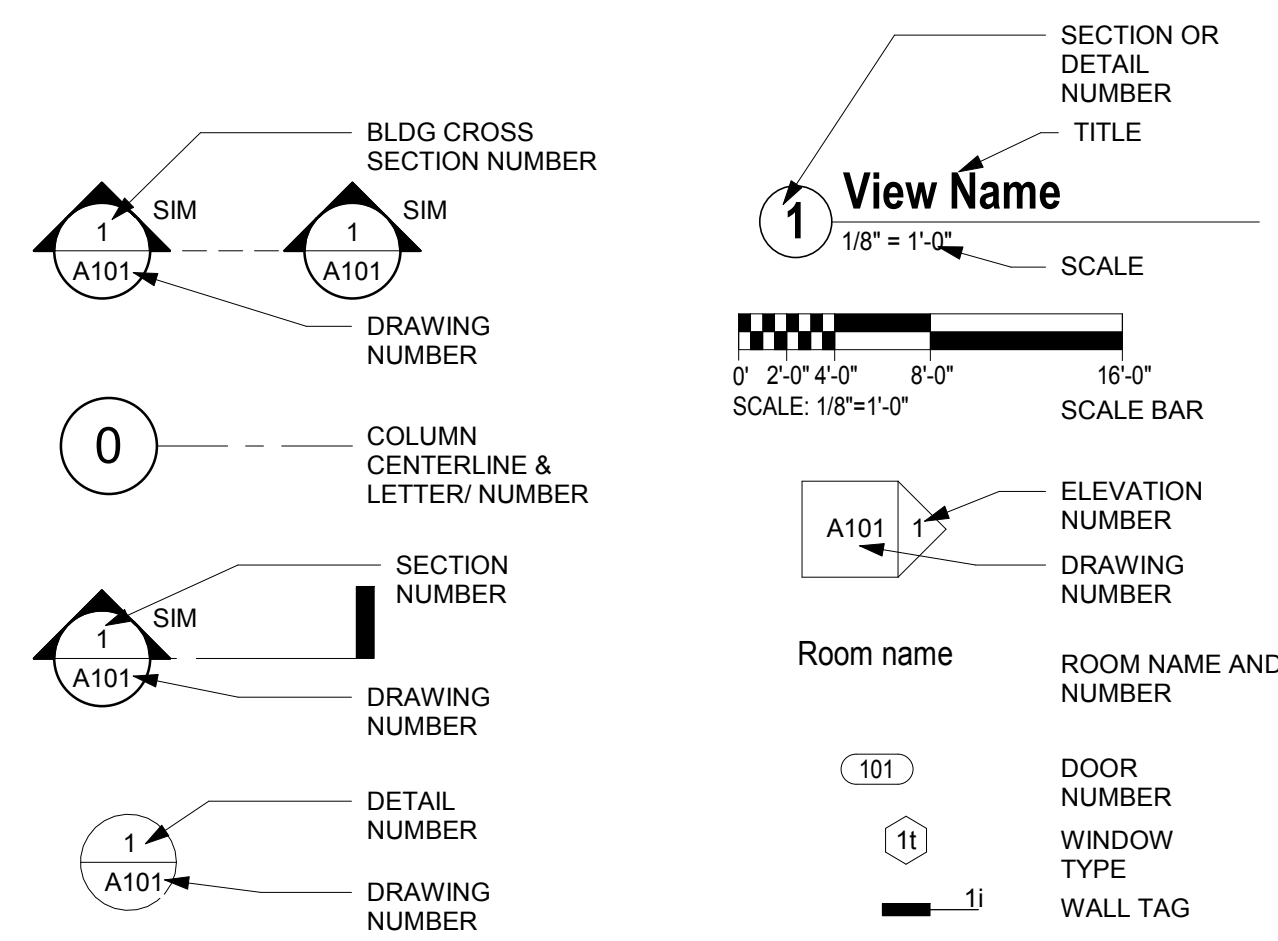
ROSZYK HILL ROAD
HAZELMERE AVENUE



MATERIALS LEGEND:

BRICK		CONCRETE OR PRECAST CONCRETE	
CONCRETE MASONRY UNIT		METAL IN ELEVATION	
RIGID INSULATION		ACOUSTICAL CEILING TILE OR PANEL	
BATT INSULATION		BRICK IN ELEVATION	
WOOD BLOCKING		PLYWOOD	
FINISHED WOOD		GRAVEL	
GYPSUM BOARD/PLASTER/GROUT		SPRAY INSULATION	
CERAMIC TILE			

DRAWING SYMBOLS:



GENERAL NOTES:

1. NEW WORK SHALL ALIGN WITH AND MATCH EXISTING WORK EXCEPT WHERE OTHERWISE DIMENSIONED OR DETAILED.
2. WHERE PAINT IS CALLED FOR ON WALLS IN EXISTING CONSTRUCTION, PAINT ALL WALL AREAS.
3. VERIFY ALL DIMENSIONS SHOWN IN RENOVATED AREAS IN THE FIELD BEFORE PROCEEDING WITH WORK.
4. CONTRACTOR TO ENSURE ALL EXISTING EXTERIOR DOOR OPENINGS ARE KEPT CLEAR FOR EMERGENCY EGRESS

BUILDING CODE INFORMATION:

LOCATION: PINES HEALTHCARE & REHABILITATION CENTER
9822 ROUTE 16
MACHIAS, NY 14101

APPLICABLE CODES:
1.) EXISTING BUILDING CODE 2015 OF NEW YORK STATE (IBC 2015)
2.) NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE (IECC 2015)

OCCUPANCY CLASSIFICATION: I-2: INSTITUTIONAL

TYPE OF CONSTRUCTION: TYPE 2B

FULLY SPRINKLERED: YES

CLASSIFICATION: ALTERATIONS LEVEL 1



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MACHIAS, NY 14101

**THE PINES HEALTHCARE &
REHABILITATION CENTER,
2019 BUILDING ENVELOPE
IMPROVEMENT**

**CONSTRUCTION
DOCUMENTS**



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WENDEL ARCHITECTURE, P.C

ABBREVIATIONS:

A/C	Air Condition	E	East	LT	Light	SF	Square Foot (Feet)
AB	Anchor Bolt	EA	Each	LVR	Louver	SHR	Shower
AC	Asphaltic Concrete	EF	Each Face	MATL	Material	SHT	Sheet
ACP	Acoustical Ceiling Panel	EIFS	Exterior Insulation & Finish System	MAX	Maximum	SHTHG	Sheathing
ACS DR	Access Door	EJ	Expansion Joint	MB	Machine Bolt	SHV	Shelving
ACT	Accoustical Ceiling Tile	EL	Elevation	MECH	Mechanical	SIM	Similar
ADDM	Addendum	ELEC	Electrical	MED	Medium	SLNT	Sealant
ADJ	Adjacent/Adjustable	ELEV	Elevator	MEZZ	Mezzanine	SND	Sanitary Napkin Dispenser
AFF	Above Finished Floor	ENCL	Enclosure	MFR	Manufacturer	SNDU	Sanitary Napkin Disposal Unit
AFG	Above Finished Grade	EP	Electrical Panel	MH	Manhole	SP	Stand Pipe
AHU	Air Handling Unit	EPDM	Ethylene Propylene Diene Monomer	MIN	Minimum	SP FIN	Special Finish
ALT	Alternate	EQ	Equal	MIR	Mirror	SPEC	Specification
ALUM	Aluminum	EQUIP	Equipment	MISC	Miscellaneous	SQ	Square
AMT	Amount	EWC	Electric Water Cooler	MLWK	Millwork	SS	Storm Sewer
ANOD	Anodize	EXC	Excavate	MO	Masonry Opening	SST	Stainless Steel
APPROX	Approximately	EXH FN	Exhaust Fan	MT	Metal Threshold	STC	Sound Transmission Class
ARCH	Architect	EXP	Expansion/Exposed	MTD	Mounted	STD	Standard
ASSY	Assembly	EXST	Existing	MTLP	Metal Partition	STRUCT	Structural
AV	Audio Visual	EXT	Exterior	N	North	SUSP	Suspend
AWG	America Wire Gauge	EXTRU	Extrusion	NA	Not Applicable	SV	Sheet Vinyl
BD	Board	F/F	Face to Face	NIC	Not In Contract	SYMM	Symmetrical
BITUM	Bituminous	FCU	Fan Coil Unit	NO	Number	T	Tread
BLDG	Building	FD	Floor Drain	NOM	Nominal	T&B	Top And Bottom
BM	Beam/Bench Mark	FDTN	Foundation	NRC	Noise Reduction Coefficient	T&G	Tongue & Groove
BOT	Bottom	FE	Fire Extinguisher	NTS	Not To Scale	TB	Tower Bar
BS	Both Sides	FEC	Fire Extinguisher Cabinet	OC	On Center	TD	Trench Drain/Towel Dispenser
BSMT	Basement	FF	Finished Face	OD	Outside Diameter	TDR	Towel Dispenser/Receptacle
BTU	British Thermal Unit	FH	Fire Hydrant	OF	Outside Face	TEL	Telephone
BTWN	Between	FHC	Fire Hose Cabinet	OF/CI	Owner Furnished/Contractor Installed	TER	Terrazzo
BUR	Built Up Roofing	FIN	Finish	OH	Overhang	THK	Thickness
BW	Both Ways	FLASH	Flashing	OPH	Opposite Hand	TK BD	Tack Board
C	Channel	FLR	Floor	OPNG	Opening	TOC	Top Of Curb/Top Of Concrete
C TO C	Center To Center	FOC	Face of Concrete	OPP	Opposite	TOF	Top Of Footing
CAB	Cabinet	FOM	Face of Masonry	PBD	Particle Board	TOJ	Top Of Joist
CB	Catch Basin	FR	Frame	PCC	Precast Concrete	TOP	Top Of Pavement
CEM	Cement	FRG	Fiber Reinforced Gypsum	PCF	Pounds Per Cubic Foot	TOS	Top Of Steel
CG	Corner Guard	FT	Feet/Foot	PEJ	Premolded Expansion Joint	TOW	Top Of Wall
CGFSU	Ceramic Glazed Structural Facing Units	FTG	Footing	PERF	Perforated	TPH	Toilet Paper Holder
CH BD	Chalk Board	FTR	Finned Tube Radiation	PL	Perboard	TYP	Typical
CI	Cast Iron	FURG	Furring	PLBD	Property Line	UC	Undercut
CJ	Control Joint	G	Natural Gas	PL	Plastic Laminate	UG	Underground
CL	Center Line	GA	Gage	PLAM	Plaster	UH	Unit Heater
CLG	Ceiling	GAL	Gallon	PLAS	Plaster	UNFIN	Unfinish
CLL	Contract Limit Line	GALV	Galvanized	PLBG	Plumbing	UNO	Unless Noted Otherwise
CLO	Closet	GB	Grab Bar	PLYWD	Plywood	UR	Urinal
CLOS	Closure	GC	General Contractor	PREFAB	Prefabricate	UTIL	Utility
CLR	Clear	GDR	Guard Rail	PREFIN	Prefinish	VCT	Vinyl Composition Tile
CLRM	Classroom	GL	Glass	PSF	Pounds Per Square Foot	VERT	Vertical
CMP	Corrugated Metal Pipe	GLZ CMU	Glazed Concrete Masonry Unit	PSI	Pounds Per Square Inch	VEST	Vestibule
CMU	Concrete Masonry Unit	GR LN	Grade Line	PT	Paint	VTR	Vent Through Roof
CO	Cleanout	GYP	Gypsum	PTD	Paper Towel Dispenser	WVC	Vinyl Wall Covering
COL	Column	GYP BD	Gypsum Wall Board	PTN	Partition	W	West
COMB	Combination	H	High	PVC	Polyvinyl Chloride	W/	With
COMP	Component	HB	Hose Bibb	QT	Quarry Tile	W/O	Without
CONC	Concrete	HC	Handicap	QTY	Quantity	WBL	Wood Blocking
COND	Condenser	HD	Hand Dryer	R	Radius/Riser/Thermal Resistance	WC	Water Closet
CONF	Conference	HDW	Hardware	RA	Return Air	WD	Wood
CONN	Connect	HM	Hollow Metal	RAD	Radiator	WG	Water Gage
CONSTR	Construction	HORIZ	Horizontal	RB	Rubber Base	WGL	Wired Glass
CONT	Continue	HP	Horsepower	RBR	Rubber	WL	Water Line
CONTR	Contractor	HT	Height	RCP	Reinforced Concrete Pipe/Reflected Ceiling Plan	WST	Weatherstrip
COORD	Coordinate	HVAC	Heating, Ventilating, and Air Conditioning	RCVR	Receiver	WSCOT	Wainscot
COORR	Corridor	HVY	Heavy	RD	Roof Drain	WWR	Welded Wire Reinforcement
CP	Concrete Pipe	HYD	Hydrant	REC	Recessed		
CPRS	Compressible	ID	Inside Diameter	RECPT	Receptacle		
CPT	Carpet	IF	Inside Face	REF	Reference/Refrigerator		
CRS	Cold Rolled Steel	INCL	Included	REINF	Reinforce		
CT	Ceramic Tile	INSUL	Insulation	REQD	Required		
CUST	Custodian	INSUL PNL	Insulated Metal Panel	RESIL	Resilient		
D	Deep/Depth	INT	Interior	RET	Return		
DBL	Double	INV	Invert	RFG	Roofing		
DEMO	Demolition	IP	Iron Pipe	RH	Roof Hatch/Right Hand		
DEPT	Department	IPS	Iron Pipe Size	RHR	Right Hand Reverse		
DET	Detail	JAN	Janitor	RL	Roof Leader		
DF	Drinking Fountain	LAB	Laboratory	RM	Room		
DH	Double Hung	LAM	Laminate	RO	Rough Opening		
DI	Drop Inlet	LAV	Lavatory	ROW	Right Of Way		
DIA	Diameter	LBS	Pound	RR	Railroad		
DIAG	Diagonal	LF	Linear Feet (Foot)	RTU	Roof Top Unit		
DIFF	Diffuser	LH	Left Hand	RV	Roof Vent		
DIM	Dimension	LHR	Left Hand Reverse	S	South		
DISP	Dispenser	LN	Linear	SA	Supply Air		
DN	Down	LKR	Locker	SC	Solid Core		
DPTN	Demontable Partition	LKH	Long Leg Horizontal	SCD	Seat Cover Dispenser		
DR	Door	LLV	Long Leg Vertical	SCHD	Schedule		
DS	Down Spout	LOC	Location	SD	Soap Dispenser		
DWG	Drawing	LPT	Lowpoint	SECT	Section		
DWR	Drawer						

SITE PLAN:



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NO.	REVISIONS	DATE

**ABBREVIATIONS, SYMBOLS,
BUILDING CODE INFORMATION
AND SITE PLAN**

DATE: 01/25/18
SCALE: As indicated
DWN: RAR CHK: JAH
PROJ. No. 307660
DWG. No.

A001



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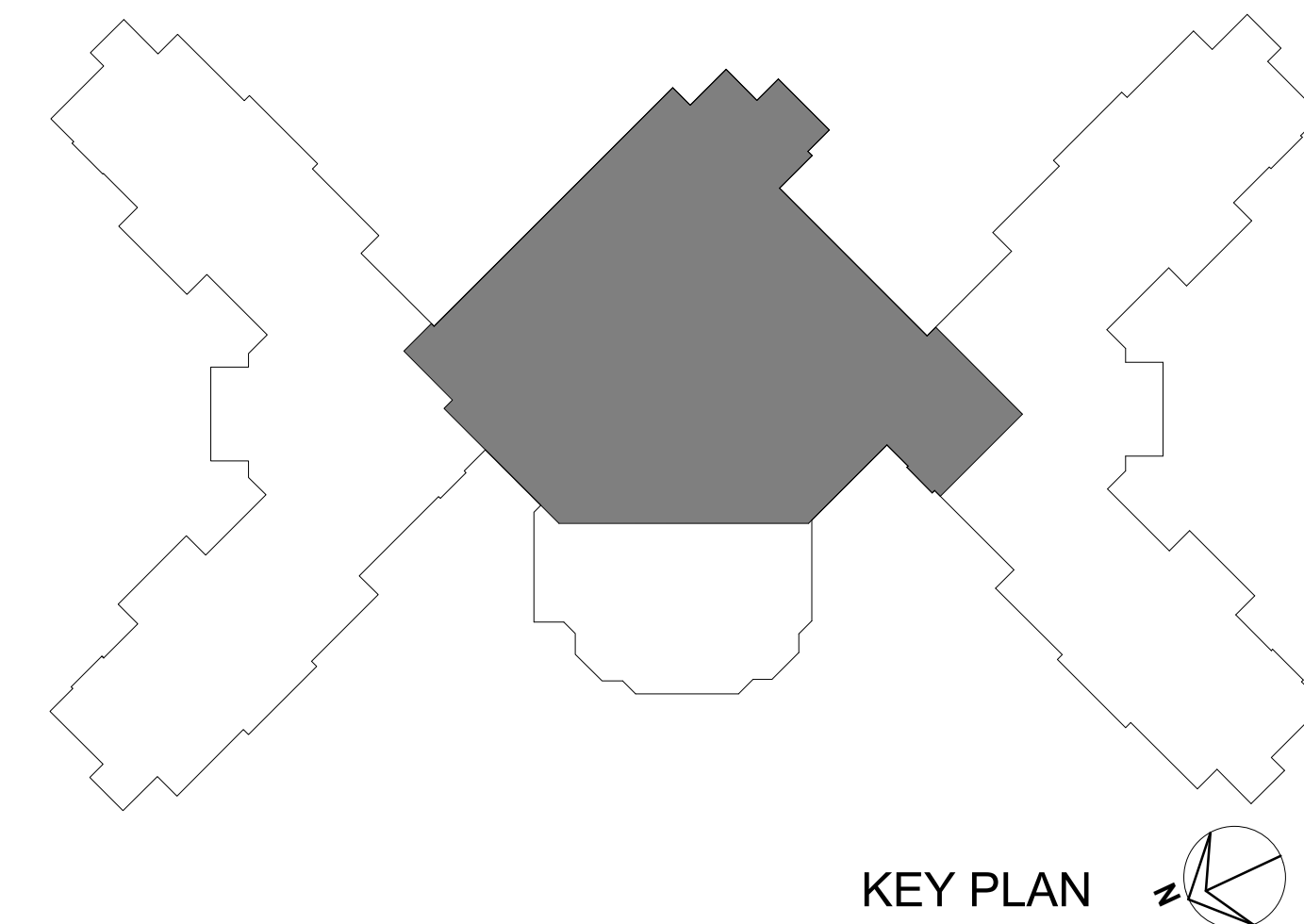
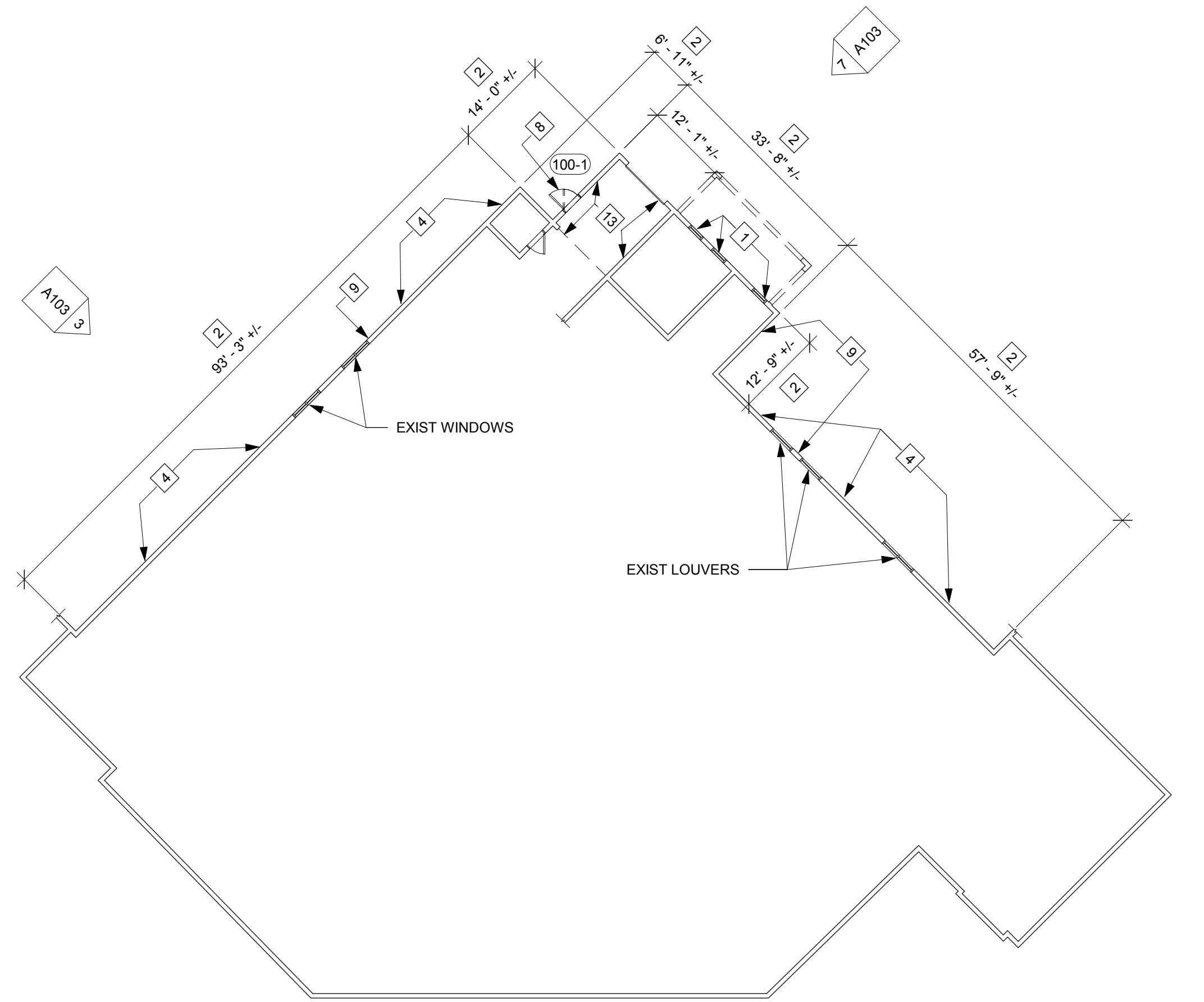
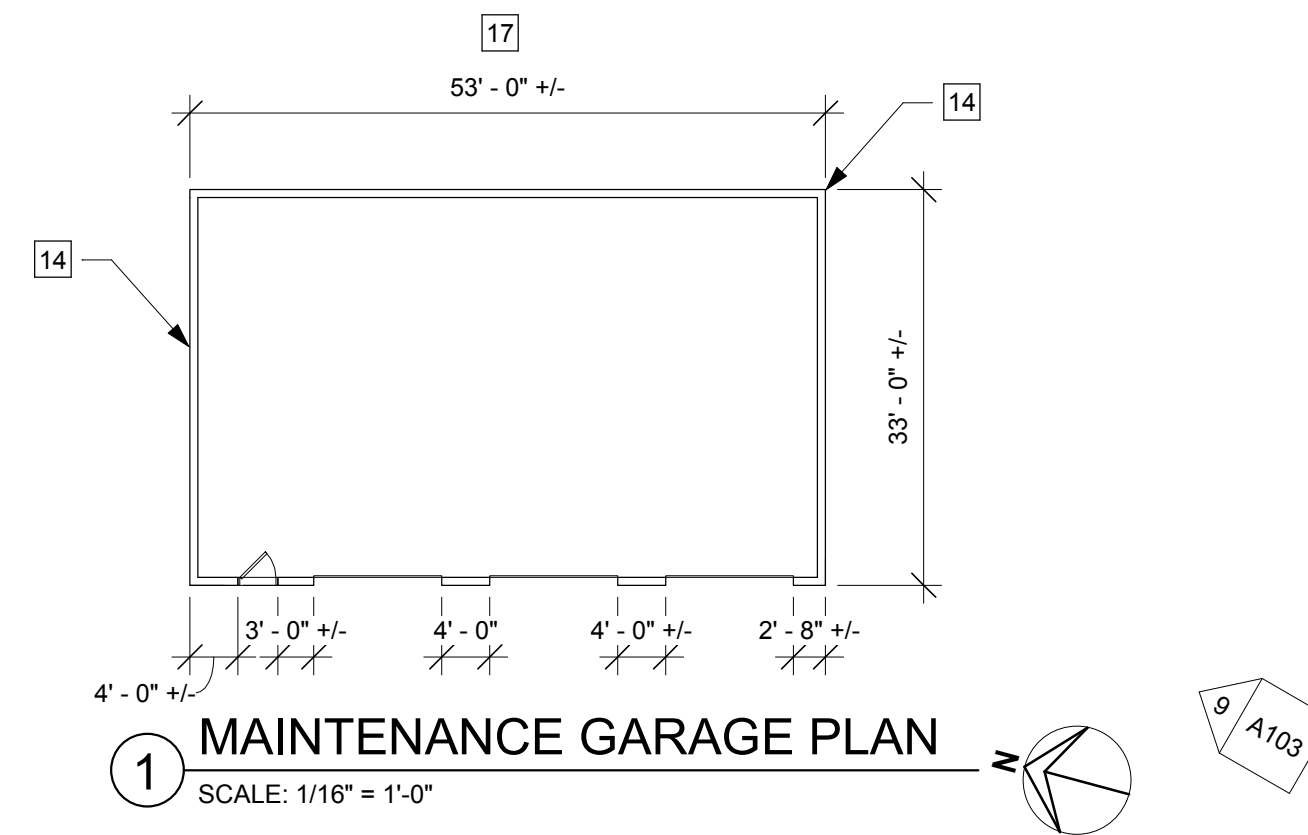
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GENERAL NOTES

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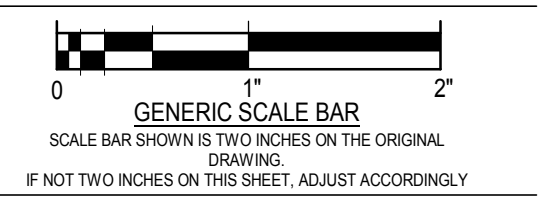
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- REMOVE AND REPLACE ALL VERTICAL SEALANT CONTROL JOINTS AND EXPANSION JOINTS, FULL HEIGHT OF MASONRY WALL.
- AT FULL BUILDING HEIGHT SECTIONS: REMOVE AND REPLACE EXIST LATEX SEALANT AT ALL SIDING AND TRIM BUTT JOINTS. POWER WASH CLEAN AND PREP EXISTING FIBER CEMENT SIDING TO RECEIVE PAINT FINISH. ALLOW FOR THREE (3) COLORS OF PAINT TO BE USED PER LOCATIONS OF EXISTING COLOR SECTIONS. REFER: 2/A301.
- AT ALL WINDOW OPENINGS, REMOVE AND REPLACE SEALANT AROUND PERIMETER OF WINDOW FRAMES AND TRIM FRAMING.
- PAINT EXIST METAL DOOR AND FRAME. PREP BOTTOM OF DOOR AND FRAME WITH RUST INHIBITOR BEFORE PAINTING. REFER: 11/A103.
- REMOVE AND REPLACE EXIST HM DOOR AND FRAME WITH FRP DOOR AND FRAME (100-1). PREP OPENING FOR FRAME.
- CLEAN MOLD AND MILDEW STAINING FROM EXIST CONC BLOCKS.
- AT SECOND FLOOR LEVEL: REMOVE AND REPLACE EXIST LATEX SEALANT AT ALL SIDING AND TRIM BUTT JOINTS. POWER WASH CLEAN AND PREP EXISTING FIBER CEMENT SIDING TO RECEIVE PAINT FINISH. ALLOW FOR THREE (3) COLORS OF PAINT TO BE USED PER LOCATIONS OF EXIST COLOR SECTIONS. TRIM TO BE COLOR 1, TOP SECTION COLOR 2, BOTTOM SECTION COLOR 3. REFER: 2/A301.
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- PREP EXIST LOADING DOCK CONC FLOOR. PROVIDE RESINOUS FLOORING FINISH.
- AROUND ENTIRE MAINTENANCE GARAGE: REMOVE AND REPLACE EXIST LATEX SEALANT AT ALL SIDING AND TRIM BUTT JOINTS. POWER WASH CLEAN AND PREP EXISTING HARDIE BOARD SIDING TO RECEIVE PAINT FINISH.
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- POWER WASH, CLEAN AND PREP EXIST PORCH SIDING ON ALL SIDES, FULL HEIGHT
- PROVIDE 6" ALUMINUM GUTTER WITH TWO 4" DOWN SPOUTS (ONE FOR EACH END).



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NO.	REVISIONS	DATE

DWG. TITLE
GROUND FLOOR PLAN AND MAINTENANCE GARAGE PLAN



DATE: 12/27/18
 SCALE: As indicated
 DWN: RAR CHK: JAH
 PROJ. No: 307660
 DWG. No:

A100



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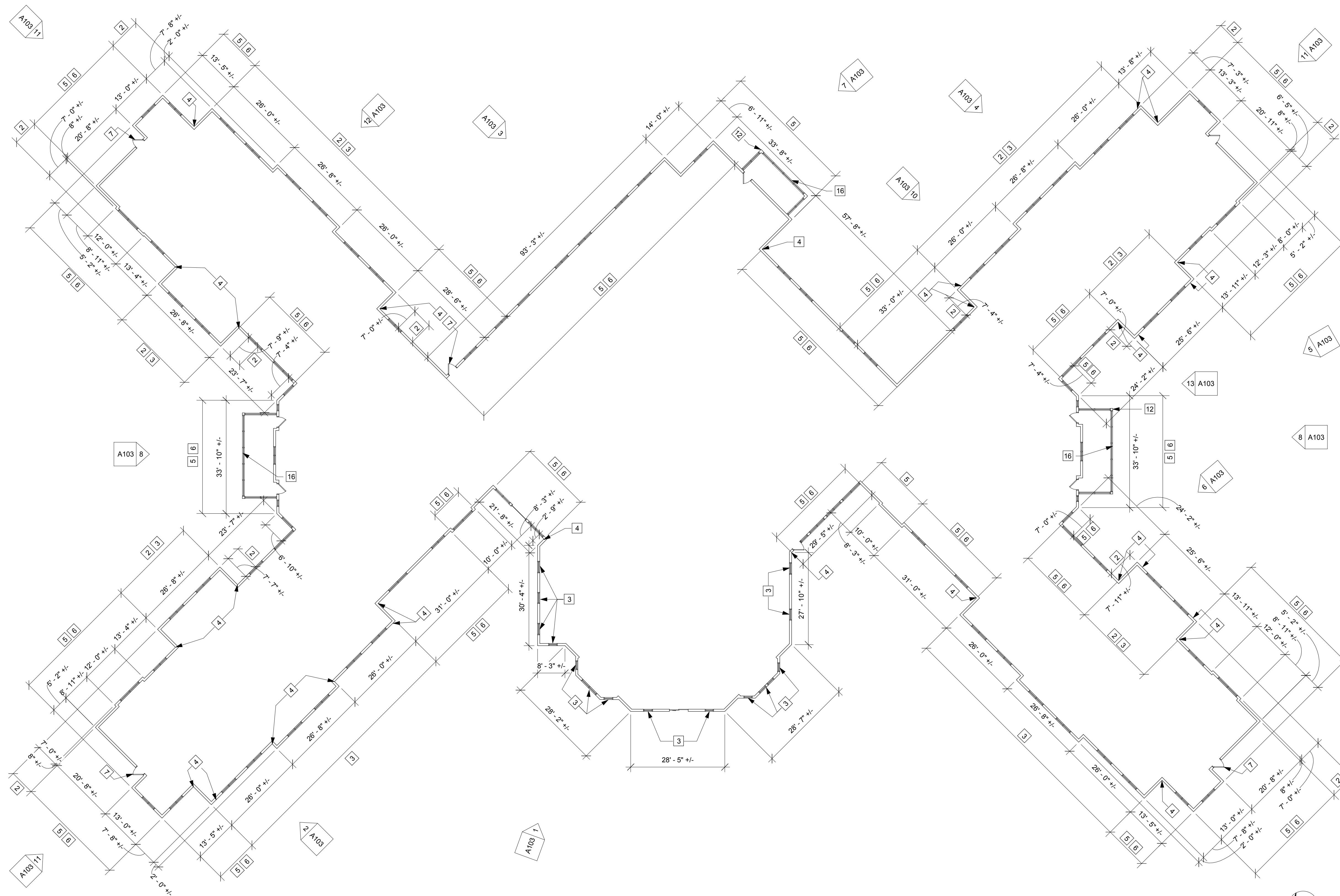
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- REPOINT ALL MORTAR JOINTS AROUND AND BETWEEN EXISTING PRECAST CONC WINDOW SILL AND HEAD TRIM. REMOVE AND REPLACE ALL PERIMETER SEALANT JOINTS AROUND THE WINDOW FRAMES.
- REMOVE AND REPLACE ALL VERTICAL SEALANT CONTROL JOINTS AND EXPANSION JOINTS, FULL HEIGHT OF MASONRY WALL.
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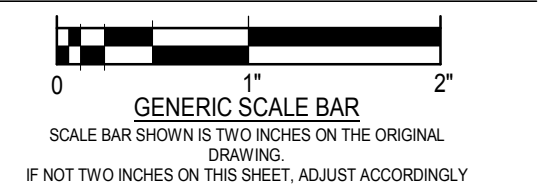
1 FIRST FLOOR EXTERIOR OUTLINE PLAN
 SCALE: 1/16" = 1'-0"

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DWG. TITLE

FIRST FLOOR PLANS



DATE	01/26/18
SCALE	As indicated
DWN	RAR
CHK	JAH
PROJ. No.	307660
DWG. No.	

A101



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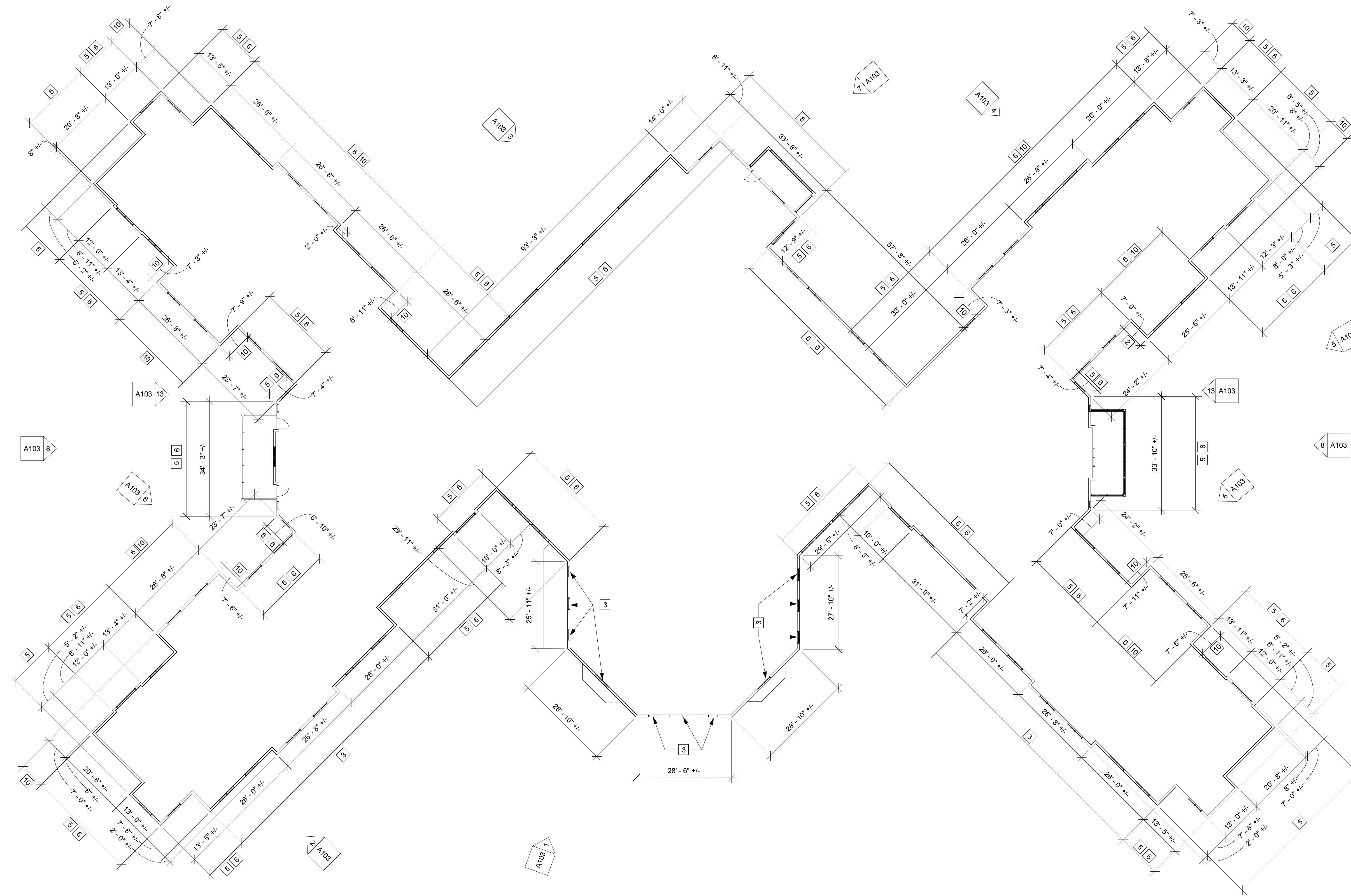
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12. REMOVE AND REPLACE SECTION OF FIBER CEMENT SIDING/DECORATIVE COLUMN TRIM AT CORNER OF PORCH ROOM. REPLACE 1'-6" +/- WIDE BY 24'-6" +/- HIGH ON BOTH SIDES OF CORNER TO MATCH EXIST PROFILE AND PATTERN. REFER: 7 AND 8 ON A103.
13. PREP EXIST LOADING DOCK CONC FLOOR. PROVIDE RESINOUS FLOORING FINISH.
14. AROUND ENTIRE MAINTENANCE GARAGE; REMOVE AND REPLACE EXIST LATEX SEALANT AT ALL SIDING AND TRIM BUTT JOINTS. POWER WASH CLEAN AND PREP EXISTING HARDIE BOARD SIDING TO RECEIVE PAINT FINISH.
15. POWER WASH, CLEAN AND PREP EXISTING GABLE SIDING AND TRIM TO RECEIVE PAINT FINISH. ALLOW FOR 3 COLORS PER EXIST AREAS.
16. POWER WASH, CLEAN AND PREP EXIST PORCH SIDING ON ALL SIDES. FULL HEIGHT
17. PROVIDE 6" ALUMINUM GUTTER WITH TWO 4" DOWN SPOUTS (ONE FOR EACH END).



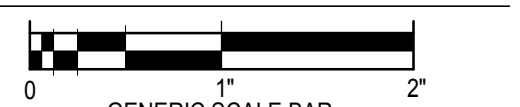
1 SECOND FLOOR EXTERIOR OUTLINE PLAN
SCALE: 1/16" = 1'-0"

NOTE:
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SECOND FLOOR PLAN



SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE 01/17/19

SCALE As indicated

DWN Author CHK Checker

PROJ. No. 307660

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A102

